

# IDEA

Illinois Design Educators Association



## IDEA Architectural Design Competition 2021

---

### Recreational Retreat



#### Introduction

The client is looking for an architectural firm to take on this job. You own and operate a small architectural firm with two other partners. All three of you have recently passed your licensure exam, and are excited to create a proposal for your firm's first potential client.

Many people and families are looking for opportunities to spend more time out of doors enjoying family and friends, but without having to drive extended distances. They would like to escape for weekends, holidays, and summer vacations to their getaway. Their property is part of a private, gated recreational property owned resort located in the heart of Illinois. There are 1,756 acres of woodlands, lakes and prairies provide a spectacular natural setting for relaxing with family and friends. The property offers seven lakes for fishing and one for swimming. There are 15 miles of natural trails for hiking, cross-country skiing, and snowmobiling. Two pools and a beach provide a great way for families to relax and cool off during the hot summer months. The year-round recreation staff provides structured recreation programs and services throughout the year. Wildlife is abundant and it's very common to see deer and other wildlife throughout the prairies and woods during all seasons.

Your potential client is a family of four who own a piece of property in this recreational community within 1-1/2 hours from their home. This piece of property has been in their family for over 15 years. The property was originally used for tent and then trailer camping, but now the family would like a four-season structure built. Your design will need to meet the family's input and also the codes and guidelines of the property association—see attached guidelines. (If you need clarification or have questions about these codes your instructor will act as the project manager and provide guidance.)

Electricity, water and sewer service are available on the site. Your clients are hoping you can design for them a four-season vacation home that they can visit year-round. Your team will use the clients sketches of the existing site and measurements for your proposal. Not all measurements are included in the sketches, your team can calculate and adjust as needed. The proposed structure for the property should be designed to complement its view of the lake. The current property is a blank slate and you should consider possible landscaping options. Your client will be taking possession of the finished project upon completion and they enjoy many recreational activities that will need to be considered when creating your final design. The interior will be finished according to your client's specifications. Energy efficient design and features should be incorporated into your solution. Green technologies are desired, but must be considered into the overall project budget. All changes and modifications should be calculated into your proposed budget to be shared with judges.

The charrette is based around the client's needs, the functionality, practicality, and aesthetics of the project, both inside and outside. The client wants the project to include spaces for work, entertaining, hobby activities, and solitude. A summary of the desired spaces are listed below:

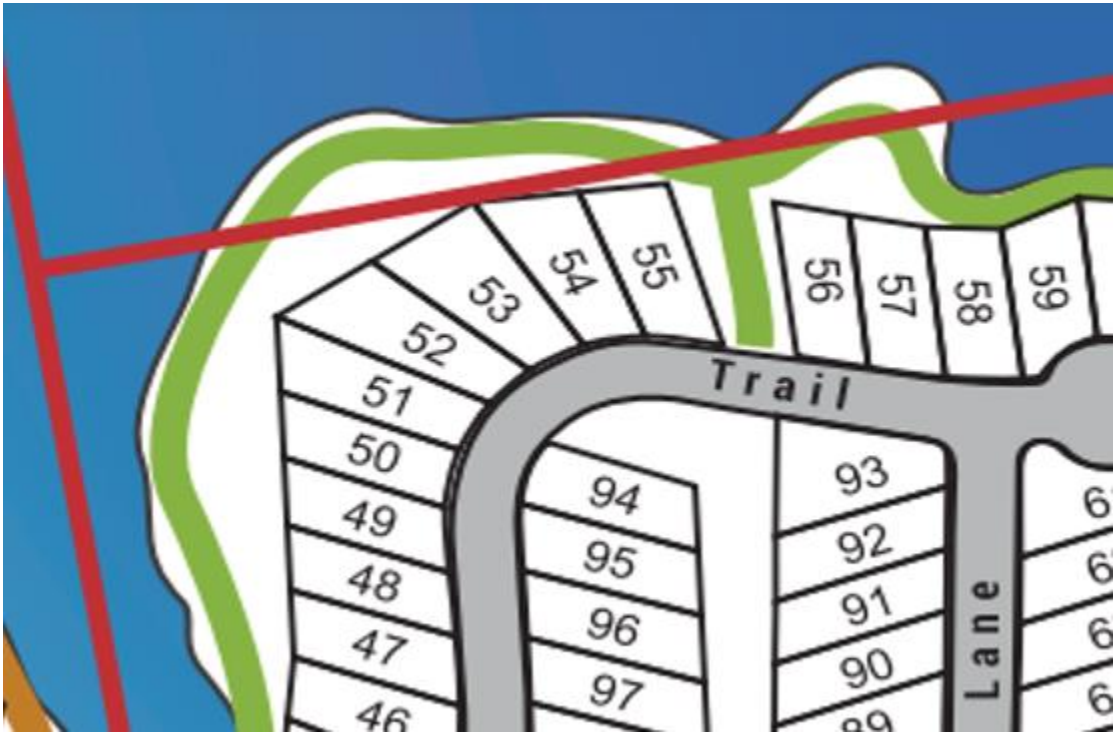
- All attached codes and covenants must be followed.
- In short, you may have 400 sqft of enclosed 4 season living space, 400 sqft of covered 3 season area, and 400 sqft of deck/patio space.
- Living, Sleeping, and Service areas must be provided.
- Use of the client's sketches and dimensions- any dimensions that are not available can be calculated or justified by your team.
- Energy efficient/compliant doors and windows are required.
- Electricity and water are available to the site.
- 2 x 6 insulated walls
- There will be no foundation per codes- research will be required on your team's part.
- The front of the proposed structure faces to the southwest.
- The rear of the proposed structure faces to the northwest.
- The floor will be 2" X 8" or larger joists to support by your structure.
- Exterior materials and appearance should blend into the surroundings.
- Standing seam steel roof is their preference.

### **Your clients have provided the following input for your design consideration:**

- Area: approximate. In short, you may have 400 sqft of enclosed 4 season living space, 400 sqft of covered 3 season area, and 400 sqft of deck/patio space = maximum design envelope
- The highest elevation/ridge point cannot exceed 12'
- Style: Rustic
- Interior finished with pine board panels and some drywall
- Heated with forced air LP furnace, AC is needed, and wood stoves and fireplaces can be included
- There needs to be a 12" space between the bottom of the structure and the ground so no part of the structure is directly on or attached to the ground.
- The front of the structure faces southwest.
- A freestanding shed or storage building maybe be included- follow codes.
- The screened room or a screened gazebo can be included and not necessarily attached to the structure - follow codes.
- Rooms: 2 bedrooms, full bath, open floor plan kitchen, dining area, and a living/family room
- A loft may be included - loft for storage and children's play/ sleeping area
- Sleeping areas: one master bedroom and one guest room
- Materials: metal roof, large windows on the south side
- Special amenities: volume ceiling over living area
- Kitchen: Side by side fridge/freezer, deep sinks, electric oven/stove with exhaust
- Electric dryer
- Washing machine
- 100+ degrees in the summer, -40 degrees in the winter temperatures should be planned for
- Satellite TV
- Large furniture pieces include a table for 6-8 people for dining
- Special information: dog-friendly. As few exterior holes as possible so it is tight from mice, other pests, etc.
- Because of the snow weight in winter no flat roofs should be used. Minimum 2/12 roof
- Ability to easily cover windows for winterizing

### **Site plan:**

- See pictures below
- The site according to the picture below. Maximum design envelope is 125'-0" X 85'-0" X 130'-0" X 46'-0" any dimensions that are not available can be calculated or justified by your team
- The site is approximately .19 acres in size-- see pics
- Large trees are located near your proposed build site and should be taken into consideration.



Your firm will focus on completing a presentation board and model to present and sell your firm's architectural design to the client. Upon arrival to the IDEA competition, all members of the firm should come prepared to give a presentation of their plan in front of the judges. Your firm should arrive at the competition with the presentation board and model made ahead of time. The presentation should include the following **deliverables**:

- Title page
- Renderings
- Site Plan
- Exterior Elevations
- Floor Plans with dimensions
- Budget or cost analysis of project
- Any additional views or sections drawings, renderings, or text to communicate the design solution

A key component to a successful presentation board is to clearly illustrate the functionality and practicality of your design through your documentation and the layout.

### Constraints

- The design must include the client's desired spaces listed above
- Your solution must use the existing footprint or given dimension constraints
- Your presentation board/presentation must include the elements listed above
- Your presentation board must be a maximum of 28" X 40" trifold in size, and can be landscape or portrait orientated
- The presentation of your plan can be with any multimedia tool of your choice.
- All three members from your firm must be in attendance to present your plan to the judges

### Other documentation:

To be considered for an interview a resume and business card from each team member must be presented to the judges.

### Judging Criteria:

Judges will rate the following criteria based off of information learned through the visuals on the presentation boards and the presentations themselves.

- |  |     |
|--|-----|
| 1. Aesthetic Quality and Clarity of Board            | 20% |
| 2. Quality and Clarity of Presentation               | 20% |
| 3. Functionality and Practicality of Design Solution | 20% |
| 4. Meeting of Program Deliverable Requirements       | 20% |
| 5. Technical Quality of Architectural Drawings       | 10% |
| 6. Use of Site                                       | 5%  |
| 7. Model   | 5%  |

Each category above will be rated on the scale above.

# IDEA Architectural Design Competition 2021

## Recreational Retreat Codes

### Article VII. Land Usage and Construction Guidelines Regulating Lot Owner Improvements

Short Title. This article may be cited and referred to as the “ Lot Improvements Code.” Authority for administration of the Code shall be by the Code Enforcement Officer, also referred to as an ESAC Inspector.

**Section 1.** Setback Requirements In accordance with the Covenants all RVs, tents, and improvements are subject to setback as specified within these Rules.

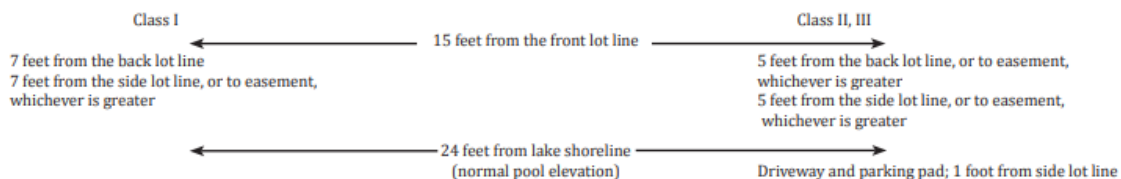
A. Property Owners are responsible for the actions of the surveyors they hire who shall not remove an original monument nor may they remove a boundary pin without written consent/agreement of the neighboring Property Owner(s) who shares the pin(s) in question; written agreements must be filed with the Association prior to moving.

B. Where property rights extend to shoreline, a fire pit may be placed 15 feet from shoreline. The setback will include any perimeter material such as brick, stone, etc. A fire pit cannot exceed 1 foot above ground level.

### Section 2. Setback by Class

Class I Class II, III 15 feet from the front lot line 7 feet from the back lot line 5 feet from the back lot line, or to easement, whichever is greater whichever is greater 7 feet from the side lot line, or to easement, whichever is greater 5 feet from the side lot line, or to easement, whichever is greater 24 feet from lake shoreline (normal pool elevation) Driveway and parking pad; 1 foot from side lot line

#### Section 2. Setback by Class



### Section 3. Improvement & Permit Classes

A. Permits. The placement of any recreational vehicle (RV) or the commencement of construction or structural alterations of any improvement described in this Code shall be prohibited unless proper required County permits have been issued.

A. Permits. The placement of any recreational vehicle (RV) or the commencement of construction or structural alterations of any improvement described in this Code shall be prohibited unless proper required Woodhaven and Lee County permits have been issued.

1. Permits by Class

Class I-A (Lee Co. Permit Required)	Class I-B (fixed units)	Class II	Class III
Overhead Structure (1) Room Enclosure (1) Integral Connecting Roof	Travel Trailer (2) Wood Deck RV Pad Staircase Porch Ramp Retaining Wall Seawall (setback does not apply)(5) Park Model RV (2)	Antenna (fixed) Bridge *Dog Run/Kennel **Driveway **Parking Pad Fire Pit Fireplace HVAC LP Tank Patio Pond *Raised Walkway Roof Replacement Satellite Dish(fixed) Storage Shed Storage Locker *Temporary/Portable Screen Rooms/Overheads Terrain Modification Utility Extension Wastewater Holding Tank	Additional Tents 2nd RV Demolition (4) Mowing (3) Tree Removal Yard Sale

(1) Lee County Permit Required  
 (2) Requires Certificate of Title  
 (3) Requires neighboring PO agreement  
 (4) Requires means for disposing material  
 (5) Requires signed license agreement  
 \* Requires 7' side & rear setback and 15' front setback

2. A permit is needed when a. making repairs. b. replacing or modifying a roof. c. modifying windows, doors, siding, tip outs, slide outs, or any exterior element of an RV. d. Any modification must conform to current RV standards and/or practices for the RV type being modified. No permit is needed for other RV repairs provided the repair is intended to maintain the RV in “as was” or original condition.

3. Applications that are properly completed, accompanied by plans, and an accurate setback diagram that are found to comply with the Code shall be approved within 3 business days and a permit issued upon Lee County fee payment (if required).

4. Work permits are valid for a period of 180 days from date of issuance of the permits. Work authorized by permit, but not substantially started within 90 days, shall require a new permit. An extension of the permit, if the work is not completed within the 180 days given, may be issued by the Code Enforcement Officer upon receipt of a compliance agreement.

5. A work permit shall be revoked by the Code Enforcement Officer, if they find from personal inspection or from competent evidence the rules or regulations of the Code are being violated. 6. The permit application for placement of an RV shall include the vehicle identification number (VIN) and a copy of the title or bill of sale.

B. Tents. Tents connected by an accessory tunnel or otherwise joined shall be regarded as multiple tents. Placement of additional tents on a campsite will require a permit as follows: 1. Campsites with no RV are allowed 3 tents with no permit required. 2. Campsites with an RV are allowed 2 tents with no permit required. 3. A permit may be issued for a maximum of 2 additional tents. 4. We may waive restrictions for registered not-for-profit organizations, i.e. Boy Scouts, Girl Scouts. 5. Tents must be set up within setback lines. 6. Permits must be displayed on the RV or electrical pedestal and must be visible from the road for as long as the tents are present. 7. There is a limit of 4 permits issued to a single lot in any given calendar year, 2 of which may be between Memorial Day and Labor Day Weekend. A permit extension may be considered for extenuating circumstances with prior notice. 8. Tents and fabric overheads shall be retracted or removed from December 1 to April 1 unless in actual use.

C. 2nd RV. A second RV will require a permit, when temporarily parked on a campsite with the exception of trucks with camper tops or conversion vans that are being used for transportation and are not hooked up to water or electric, nor are they being occupied while parked. 1. There is a limit of 4 permits issued to a single lot in any given calendar year, 2 of which may be between Memorial Day and Labor Day Weekend (in-season). A permit extension may be considered for extenuating circumstances with prior notice. a. In-season permits may be combined for a maximum of 28 consecutive days. If the Owner wants to string one off-season permit with two in-season permits there will be a maximum of 35 consecutive days. 2. The RV must remain within the Campsite's side and rear setback lines. 3. A grace period of up to 48 hours for loading/unloading will be given with prior authorization.

D. The demolition of any building or structural improvement requires a permit and demonstrable means for disposing of debris. Woodhaven dumpsters cannot be used for this material.

E. Yard Sales. 1. No yard sales, garage sales, or product sales are to be allowed on any Campsite except by permit. 2. No lot shall be issued more than two (2) permits per year consisting of no more than three (3) consecutive days. 3. Yard sales are not permitted during holidays or Woodhaven special event weekends including: Spring Fling, Memorial Day, 4th of July, Main Event, Labor Day, and Fall Festival Weekends.

#### **Section 4. Non-Conforming Improvements**

A. Any permitted improvement, constructed and placed in accordance with its permit, and existing at the time of adoption of this Code, or a later amendment, which does not conform to the provision of this Code, shall be deemed to be a non-conforming improvement and may be continued and kept in ordinary repair and maintenance or changed to a conforming improvement, except as provided herein.

B. A non-conforming improvement may not be enlarged, extended, structurally altered, or improved in any way that may appreciably extend the useful life of the improvement. Alteration may be commenced, under permit, to convert a non-conforming improvement to a conforming one.

C. Elimination of non-conforming improvements. A non-conforming improvement must be removed or modified to a conforming improvement: 1. When a non-conforming improvement may be deemed a health or safety hazard by a safety official charged with protecting the public health and welfare, or 2. When a non-conforming improvement is damaged or destroyed by any means to the extent that a loss of 50% or more of the replacement value of the improvement has been incurred.

D. No additional First-Class improvements that will impede future compliance with the Code may be made to a lot on which a nonconforming improvement is noted.

#### **Section 5. Violations/Inspections Inspections of Campsites may be conducted by Association personnel or authorized agents of the Association. Any violations found at the time of inspection will be recorded in the Member's files.**

A written notice identifying the violation(s) will be mailed to the Member at the last known address in the Association's records. The member will have thirty (30) days to submit plans for removal or reconstruction of the violation into a conforming improvement.



**Section 6. Allowed Structural Improvements All work performed shall be done in a workmanship like manner, Refer to Policy 08-200-0220 C 4. 02/2020 Page 14**

A. Storage Building (Shed) 1. Shall be constructed on a level base with a floor designed to allow the shed to be easily relocated. 2. Shall have a roof pitch of not less than 3 inches per foot of rafter span, covered with a generally accepted roofing industry material, in accordance with the manufacturer's intended purpose and installation instructions. Manufacturer's specifications may be required for permit. 3. Shall not exceed 96 square feet, nor may it exceed a height of 9 feet measured from the base to highest point of roof. Gable and roof extensions may not exceed 12 inches. 4. A second shed may be permitted on a Campsite, with the following provisions: a. A total of 128 square feet consisting of no more than two (2) structures. b. The two (2) structures are not joined in any manner and do not share any common components, i.e. roof, wall, floor, etc. 5. Shall not have plumbing, sanitary, cooking, or sleeping facilities installed at any time. 6. Sheds may be constructed of industry recommended material suitable for outdoor applications; and must be maintained to remain free of rotting, rusting, holes, or in any other way being left open to the elements. 7. Sheds constructed of wood must be of exterior quality and sealed with exterior paint.

B. Wood Decks, Porches, Ramps, and Staircases 1. May not exceed a combined total of 400 square feet. 2. The floor height shall be consistent with reasonable entry into the trailer. 3. The deck shall be supported by wood, steel posts, or concrete piers. If concrete piers are used, they must not extend beyond 3'' above grade. 4. A raised wood deck, when properly constructed and upon proper application of the necessary permits, may be used as the floor for other approved Campsite improvements. 5. Construction materials consisting of recycled materials, formed into standard lumber sizes, and used according to manufacturer instructions, shall be considered equivalent to wood. 6. Ramp width may not exceed 4 feet. May include intermediate landings of up to 4' x 4' to change direction or interrupt slope. Not included in deck area limit. 7. Staircase tread may not exceed 12 inches. May be constructed to complement deck design. Total width of staircase in one direction may not exceed 12 feet. May include intermediate landings of up to 4' x 4' for each 90° change in direction. 8. Stair tread larger than 12'' or landings larger than 4' x 4' will be classified as deck and included in deck area limit. 9. Railings a. A railing is required on decks with an elevation of 30'' or higher. b. Railings shall be at least 32'' in height, but no greater than a height of 48'' as measured from the floor of the deck, porch, ramp, or staircase to the top of the railing. When using vertical balusters there is to be no more than four (4) inches of space between each baluster on the railing. 10. Raised Walkways must meet a 7' setback.

C. Overhead Structures 1. Total maximum under roof area of all overhead structures shall not exceed 400 square feet. First Class Permit is required. 2. Each structure may be made, covered, and roofed with any generally accepted industry material, in accordance with the manufacturer's intended purpose and installation instructions. Manufacturer's specifications may be required for permit. 3. The structure shall not exceed 12', measured from floor to roof peak. 4. Maximum roof extension (overhang) of an overhead is 24''. a. Extension(overhang) is measured from the support post establishing setback of the overhead, when placed over a patio or undeveloped area. b. Extension(overhang) is measured from the support post establishing setback of the deck, when overhead is constructed as a deck overhead. 5. If the structure is attached to an RV, the integrity of each structure will remain sound when one is separated from the other. Support beams are to be adequately placed to support the weight of the

overhead. 6. Overhead structures shall not be used to provide storage of personal property (except during off-season); nor may it be used to shelter (full or partial) recreational vehicles or automobiles. 7. Screened Overhead Structure a. Screening installed to enclose an overhead must be temporary in nature if a room addition is also present on the property (see option below). Use of screens is permitted from March 1 through November 30; screens must be removed from December 1 through the last day of February (the area is to remain open during this timeframe). b. When no room addition is present on the property, screens may remain on a year-round basis. Use of exterior shades to protect screen rooms must be manufactured specifically for this application and be maintained in good repair. c. Property Owners with less than 400 square feet of room addition on their property may screen the difference in area up to the maximum 400 square feet, with that portion permitted to remain on a year-round basis. Any additional screening is required to be removed as noted in 7 a. d. A portable/temporary screen room (see Article VII, Section 6, K.) may not be used where a deck overhead has been enclosed with screens.

D. Room Addition (Enclosures) 1. The maximum allowable area of room addition (enclosure) is 400 square feet composed of no more than 2 separate structures. First Class Permit is required. 2. Enclosure must not have any plumbing, sanitary or cooking facilities installed at any time. 3. Enclosure is permitted for use only as a supplement to an approved recreational vehicle. 4. Enclosure shall have a minimum of one (1) door exit located and arranged to provide a means of unobstructed travel to the outside of the structure. If an addition is divided into two (2) rooms, the room which does not have an exterior door to the outside shall have an alternate exit, with an unobstructed opening of at least 5.7 square feet with width not less than 20 inches, height not less than 24 inches, the bottom of the opening not more than 44 inches above the floor. The latch mechanism of any required exit facility shall be operable from the inside without the use of tools, keys or special effort. 5. Enclosure shall have a minimum glass or screen area for each exterior wall, except the wall adjacent to the RV, if within 3' of the RV. Glass/screen area is determined by measuring the length of the wall multiplied by .725. Window placement must allow for the maximum amount of light into the structure and possible second escape route. The calculation for the length of the wall will be reduced by the width of the door opening. In the event multiple walls or angles apply, a directional view will be used to determine the wall's length. 6. Enclosure may be constructed, covered, and roofed with any generally accepted industry material in accordance with the manufacturer's intended purpose and installation instructions. Manufacturer's specifications may be required for permit. 7. The structure shall not exceed 12', measured from floor to roof peak.

E. Connecting Roof 1. Removable. Designed and constructed that it may be disassembled without impacting the structural integrity, appearance, or usability of the two (2) integrated units. 2. Integral. Designed and constructed to form a continuous roof covering a corridor between the connected units with roofing material blending onto both units. Such an integral connecting roof shall require a Class I-A permit and shall be included in the total maximum under roof area, and, if covering an enclosed structure, also be included in maximum enclosed area. Such roof shall not exceed the height of the adjoining units at the eaves by more than 12 inches, nor shall it exceed the width of the corridor by more than 8 inches on each side. 3. Overhead structure and/or room enclosure roofs, connecting to the adjacent RV: a. Park Model RVs Only 1. Roof extensions connecting to a Park Model RV will be based on the pitch of the RV. The highest point is not to exceed the ridge of the Park Model RV or 12' from

the floor of the room or deck. 2. Roof extensions are not to be attached to the Park Model by fasteners. 3. The roof of the Park Model RV is not to be modified or striped under the overhead connecting roof. 4. If the Park Model RV is removed and replaced with a different type RV, the roof must be reduced to 24". b. All Other RV Types 1. Maximum roof extension of an overhead or enclosure is 24" 2. Such overhanging roof shall be self-supporting and not structurally attached to the RV roof, except by means of flashing to prevent leaks.

F. Roof Replacement or Repair 1. Repair material must be uniform in color and style, or if replacing, must use a generally accepted roofing industry material in accordance with the manufacturer's intended purpose and installation instructions. A copy of the manufacturer's specifications may be required for permit.

G. Antennas (includes satellite dish) 1. All towers shall be a maximum of 30' in height plus 10' mast. 2. Tower shall be free standing and constructed of at least 20 gauge galvanized or enameled steel. 3. Base shall be buried a minimum 42" in ground and set in concrete. 4. Absolutely no guy-wires are permitted to ground level or attached to vegetation. 5. Masts attached to sheds, room enclosures, or recreational vehicles shall not exceed 12' unsupported length and be a minimum 16 gauge enameled or galvanized steel, minimum 1¼" outside diameter. 6. Towers or posts are to be placed within the property boundary lines.

H. Bridges 1. Shall not restrict natural drainage. 2. Bridges used only for pedestrian traffic have a maximum width of 5'. 3. The bridge shall not exceed road level within 2' of any roadway to allow for roadway maintenance and snow removal.

I. Signs 1. No signs of a commercial nature advertising yard sales, garage sales, or service type activity, or any political signs on any Campsite or roadway, except those that may be regularly displayed on an Owner's passenger vehicle used in the normal course of business. For Sale signs are prohibited. 2. Signs denoting a lot address or Owner's name may be displayed adjacent to the roadway, within the lot lines of a Campsite. 3. Signs displayed and denoting Owner or lot address shall not exceed 720 square inches in surface area and the top of such sign shall be no higher than 72" above the ground level.

J. Storage Lockers 1. Limit of two (2) lockers per Campsite. 2. Shall be placed on level gravel, patio blocks, platform or deck. 3. The locker shall not exceed: a. A base area of 20 square feet. b. A height of 7 feet from base to highest point. c. The height of any wall it is near to. 4. Lockers standing over 4' 6" must be stabilized. 5. Shall be designed for outdoor use and easy relocation. (Typical: Rubbermaid plastic) 6. All-metal (steel, galvanized, aluminum) units are prohibited.

K. Portable/Temporary Screen Rooms/Overheads (See Definitions) 1. A Class II permit with Class I setbacks is required. Portable/Temporary Screen Rooms/Overheads placed on a property must maintain a Class I setback from the property lines, ie.; fifteen (15) feet from the front and seven (7) feet from the rear, right and left side lot lines. 2. A portable/temporary screen room or portable temporary overhead may not exceed a total of 200 square feet on any Campsite. 02/2020 Page 16 3. Portable/Temporary Screen Rooms/Overheads are permitted from March 1st to November 30th and must be removed from December 1st to the end of February. The framework may remain; however, fabric tops and/or roof are to be removed. 4. A portable/temporary screen room may not be used when a deck overhead has been temporarily/permanently enclosed with screens.

L. Firewood Containment 1. Area is not to exceed 32 square feet and 6' high. 2. At least 50% of the walls and doors must be open to allow air flow. 3. May be constructed of wood, agricultural fencing such as chicken wire, wood or composite lathe, or metal or plastic chain link. 4. Containment materials are to be kept in good repair. 5. Items to be stored within containment area are limited to firewood only. 6. Limited to one per Campsite.

### **Section 7. Non-Structural Improvements Paving Materials.**

The use of poured concrete, asphalt, and other non-porous paving materials is prohibited. Only porous materials will be permitted.

A. Parking Pad 1. Shall be at least 12'' in from each side lot line, shall be constructed of a porous material. 2. Shall not alter existing grade as to create drainage problems for adjoining lots, common areas and/or other property.

B. Driveways 1. Shall be at least 12'' in from each side of lot line.

C. Recreational Vehicle Pads 1. Cannot exceed 4' beyond the RVs perimeter. 2. Shall not alter existing grade as to create drainage problems for adjoining lots, common areas and/or other property.

D. Patio 1. Shall be at grade level. 2. Maximum area of 400 square feet. 3. Constructed of gravel, patio blocks, brick, wood, or other materials approved by the Board of Directors. Note: when using patio blocks, blocks are to be limited to 18'' x 18'' in size. Sand or other porous material may be used to fill the cracks between blocks or bricks. Under no circumstance is concrete or other material to be poured or placed to create an impenetrable patio slab.

E. Culvert 1. Culverts are required under driveways that cross drainage ditches and shall maintain proper drainage in ditches. Required culvert diameters vary with location; specific requirements may be obtained from the Code Enforcement Officer. 2. Culverts may be made of galvanized metal or double-walled plastic tube, in accordance with the manufacturer's intended purpose and installation instructions. Manufacturer's specifications may be required for permit. 3. If no drainage ditch exists between the roadway and an Owner's lot, no culvert is required.

F. Fire Pit 1. Shall be located not less than 20' from any propane gas storage. 2. Maximum area of any fire pit shall be no more than 12½ square feet. 3. Shall be lined with stone, bricks, concrete blocks, or metal. 4. All external fires shall be confined within the fire pit.

G. Light Shields 1. If a light illuminates neighboring lots, then a shield shall be placed around the light to prevent the light's direct illumination onto other properties.

H. Portable Temporary Pools 1. Allowed pools are limited to 24'' in height and must observe Class I setbacks. Pools must be emptied and stored so as not to collect water when property is not occupied. Pools intended to be operated with a filtration system are prohibited.

I. Terrain Modifications 1. Terrace a. A landscape terrace may be graded to provide a relative level area on a sloped lot. b. The terrace surface must be natural vegetation (such as grass). c. Terracing may not create an interference with natural drainage or adversely impact neighboring campsites or common area. d. A terrace may be bordered by a retaining wall (See Article V Section 8). 2. Excavation and/or Fill a. Subgrade level excavation or adding fill materials, including but not limited to, rock or soil more than 4'' in depth is prohibited without a Class II Permit. b. Requires a diagram of the impacted area demonstrating the modification will not cause stress to trees or interfere with proper drainage patterns.

J. Dog Run/Dog Kennel (see Art IX Section 5) 1. Requires a Class II Permit. 2. No more than 160 square feet in area and 6' in height. 3. Approved materials: standard industry material used in dog runs/kennels. 4. No more than one per Campsite. 5. May not be used for storage.

K. Fences 1. Campsites shall be kept free and open, no fences, ledges or walls. See definitions, Article X.

L. Wildlife Deterrents 1. Plastic flexible fencing may be used around trees and shrubs to prevent damage from animals from October 1st to April 30th. The barrier is to be placed around the trees and/or shrubs to be protected. Fencing needs to be removed and stored 02/2020 Page 17 appropriately out of sight from May 1st to September 30th. 2. Use of manufactured plastic or wire garden bed fencing (chicken wire) may be used, with a height of no more than 36", a mesh of no more than 2" in diameter; and covering an area of no more than 200 square feet to prevent damage to vegetables or flowers from animals will be permitted from April 1st to September 30th. Fencing needs to be removed and stored appropriately out of sight from October 1st to March 31st. 3. Goose deterrent wire or rope will be permitted at the water's edge of lakefront properties only.

M. Decorative and Containment Borders 1. Materials to contain the spread of gravel used to define a driveway and or parking area; such as railroad ties, landscape timbers, decorative block, or edging may be used, but may not exceed 8" in height. 2. Landscape posts and/or split rail may be used for landscape décor on the property with a maximum of two (2) locations and may not exceed 4' in height and/or 10' in length. 3. Borders and structures placed in Easements are subject to removal by the Association or authorized agent without notice and/ or compensation when utility work is required in the easement. 4. Under no circumstance is any material allowed to border a Campsite on the sides or ends; or outline, encompass, or surround an entire Campsite. Material placed in such a manner will be deemed a fence.

N. Prohibited Materials in the application of items L. and M. 1. Barbed wire 2. Agricultural fencing (over 2" mesh) 3. PVC pipe 4. Chain link – plastic or metal 5. Aluminum 6. Privacy fencing

O. Skirting 1. Skirting may be used to enclose the perimeter under and around a recreational vehicle, room addition, overhead, or deck. A Class II permit noting the materials to be used and structure to be skirted is required. 2. Acceptable materials include: lattice, solid wood panels which have been painted or stained to match the existing structure, manufactured RV panels/skirting designed for this purpose, or vinyl panels. 3. Skirting may not exceed 3' in height; and must be securely attached to the recreational vehicle, add-a-room, or deck. Skirting which cannot be attached directly under and around a recreational vehicle, add-a-room or deck; may be constructed with no more than 6" between the structure and skirting and may not exceed 3' in height. The skirting needs to be securely attached and/or supported to prevent the skirting from being damaged by weather, animals, etc. 4. Areas which require more than a 3' high skirting panel due to terrain issues will be permitted and noted on the Class II permit application. Foundation walls, poured or block; and ground coverage other than gravel, within a skirted area is prohibited. 5. Use of doors. If access under the structure is needed, only one 36" high and 48" wide, door/access panel may be used, and must blend in with the rest of the skirting used.

P. Ponds 1. A Class II Permit is required. 2. Are to be located no closer than 7' from side lot lines and 15' from front lot line and 7' from the back lot lines. 3. A pond depth is to be no more than 24". 4. The maximum area for the water surface of a pond is to be no more than 50 square feet. 5. Ponds must be constructed of materials specifically manufactured for this purpose. 6. Ponds must have a moving water source so as not to become stagnant, which may be accomplished with a filter, bubbler, fountain, or other industry acceptable device. Power source must meet standards stated in Article VIII Section 13. 7. Ponds must be maintained so as not to collect yard debris or be covered with algae. 8. Unmaintained or abandoned ponds must be removed from Campsite. 9. Discarding of pond plants or fish into Woodhaven's lakes is strictly prohibited.

Q. Walkways 1. Cannot exceed 4' in width. 2. Raised walkways must meet a 7' setback; a Class II Permit with Class I Setbacks is required. 3. Walkways which are on the ground (not raised in any fashion) made of wood/block must meet a 5' setback. 4. Gravel walkways which do not exceed 4' in width must meet a 1' setback.

### **Section 8. Recreation Vehicles**

All RVs require a Class I Permit and are to be placed in compliance with setback requirements (see Section 2 and 3 of this Article)

A. Park Model RV 1. Covered on all four (4) sides with exterior siding material of the same type and forming a consistent design theme. 2. Built on a single chassis mounted on wheels. 3. Having a gross trailer area, not exceeding 400 square feet in the set-up mode. a. a. Measurements are to include siding, trim, corner moldings, bay windows, porch or deck and all other projections built on the trailer frame.

B. RVs With Tip Outs 1. Set back requirements must be met when tip-outs are fully extended.

C. Repair and Modification of RV 1. A permit is needed when making repairs or replacing or modifying a roof. A permit is needed when modifying windows, doors, siding, tip outs, slide outs, or any exterior element of an RV. Any modification must conform to current RV standards and/or practices for the RV type being modified. 2. No permit is needed for other RV repairs provided the repair is intended to maintain the RV in "as was" or original condition. 02/2020 Page 18

### **Section 9. Utility Trailers**

A. Utility Trailer 1. Shall not be used for storage. 2. Shall not be of design to exceed 3,000 lb. gross weight when loaded, maximum 6' in width 12' in length.

**Article VIII.** Utilities Water, sewer, liquid propane gas containers, and electrical improvements shall be upon Campsites in compliance with the Code and current trade practices.

**Section 1. General Rules**

A. Sewer Service and Water Service is available only to Members in good standing who own Campsites where such services are installed.

B. The annual assessment for service shall be established from time to time by the Board of Directors.

C. The Board shall have the right to adopt a special assessment for capital improvements, repairs, replacements, extensions, working capital, reserves, and for any other purpose it deems in the best interest of the Association.

D. All assessments shall be charged to the Campsite Owner(s).

E. The Board shall have the authority to adopt such Sewer Service and Water Service Rules as it deems necessary for the operation of either system.

F. All assessments shall continue to be made upon the Campsite Owner as long as the Owner owns the Campsite, whether or not membership in the Association is in good standing or suspended, whether or not the Owner uses water service, and whether or not the Campsite is occupied.

G. Each Campsite's service shall be considered separately in rendering bills for service.

H. Any repairs or maintenance necessary on the Owner's service pipe, sewer line or any pipe or fixture in or upon the Owner's premises shall be performed by a contractor or the Owner at the Owner's expense and risk. Such pipes and fixtures shall be kept and maintained in good condition and free from all leaks, upon failure on the Owner's part to do so, the Owner may be issued a citation for violation of the Association's Rules and Regulations. The Association may make the repair and assess the Member for the costs of repair and for any damages caused by the repairs to property of the Association, plus any penalty for violation of these rules. Penalties will be in accordance with Article VI of these Rules and Regulations.

I. In the event there is a leak or break of a shared service line and/or sewer line, both Owners shall be jointly responsible for the cost of repairs.

J. In case of damage to the Association's property on the Owner's premises and/or damage, including obstruction, burying and filling thereof, to the service connection to the Owner, the cost of repair shall be billed to and paid by the Owner in a separate billing statement.

**Section 2. Sewer**

A. Owner sewer lines shall require a minimum pitch of 1'' per 8' length and one 4'' (Y) cleanout positioned toward sewer main, placed external of, but within 2' of approved improvements outside perimeters.

B. An Inspection is required by ESAC or Water/Sewer Department personnel before backfilling an open trench.

C. Pipe shall be SDR 35 PVC or equal.

D. An Owner's sewer line shall be as specified in the Illinois Plumbing Code. The Owner's sewer line connections shall be installed in accordance with the Association's specifications, maintained and renewed by the Owner. Whenever the excavation for an Owner's sewer line is made in unstable ground, the material for such connection (line and backfill) shall be as approved by the Association.

E. In laying or installing the Owner sewer line and sewer extension, the following specifications must be observed by the applicant: 1. All joints and connections shall be gas-tight and water-tight. 2. All joints must be glued or of a rubber gasket type. 3. The diameter of such Owner sewer line shall be not less than 4". 4. The depth of such Owner sewer line shall be sufficient to afford protection against breakage or damage from vehicles moving on the surface of the ground over or adjacent to such connection and to afford protection against frost. 5. An Owner's sewer line shall be laid at uniform grade and in straight alignment insofar as possible, and any changes in direction shall be made only with properly curved pipe and fittings, or as in accordance with the Illinois Plumbing Code. 6. An Owner's sewer line shall be laid so as to permit gravity flow of sewage to the sewer collection of the Association. 7. All excavations for the installation of an Owner's sewer line shall be open trench work in accordance with ASTM Specification (C-12-19), unless otherwise approved by the Association, and no backfill shall be replaced until the sewer lines laid therein have been inspected and approved by a duly authorized agent or employee of the Association. 8. It shall be a violation of these Rules and Regulations for a sewer pipe to be left open, unsealed or incomplete in such manner that will permit storm or surface water to enter into any Collection sewer. All such openings shall be tightly sealed at all points whenever work is not actually in progress on such Owner sewer lines. An Owner's sewer line must be located at least ten (10) feet horizontal from any water pipe. 9. All excavations for an Owner's sewer line installation shall be adequately guarded with barricades and have lights so as to warn and protect the public from hazard. Roads and other common property disturbed in the course of the work shall be restored to a condition satisfactory to the Association at Owner's expense.

F. The Association will maintain the Association's sewer service connection to the Owner sewer line. Beyond the sewer service connection, the Owner is responsible for all leaks and blockages and the same must be repaired by the Owner. If leaks in the Owner sewer line are not repaired within a reasonable time after notice, the Owner will be in violation of these Rules and Regulations and subject to the penalties thereby imposed, including suspension of privileges.